

MAIN STREET NORTH DEVELOPMENT PERMIT SYSTEM

**For:
Centre for Urban Research and Land Development
Ryerson University**

"Issues and Impacts of the Development Permit System for
Toronto Area Municipalities"

October 20, 2014



PRESENTATION OVERVIEW:

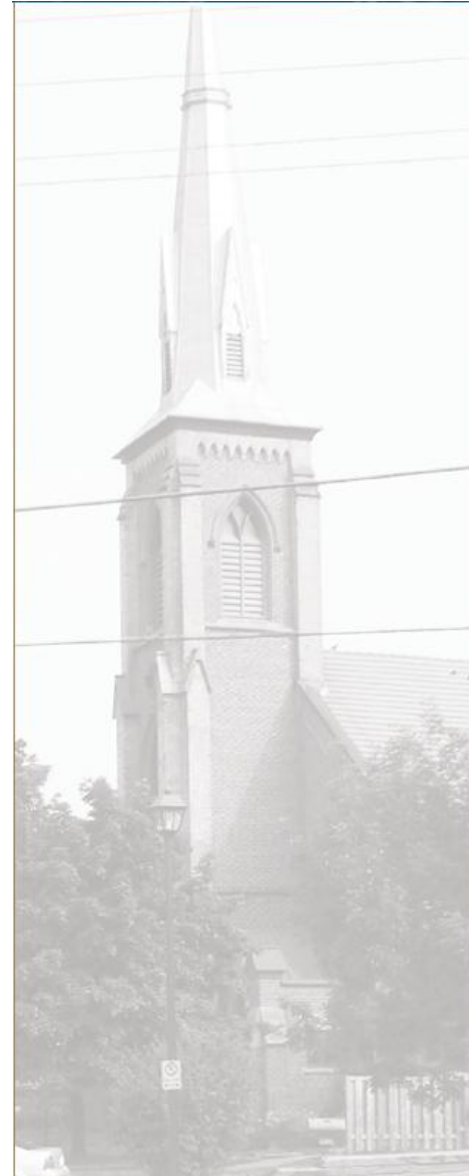
BACKGROUND AND CONTEXT

MSN DPS FEATURES

OVERVIEW OF FRAMEWORK

CHALLENGES AND LESSONS

NEXT STEPS



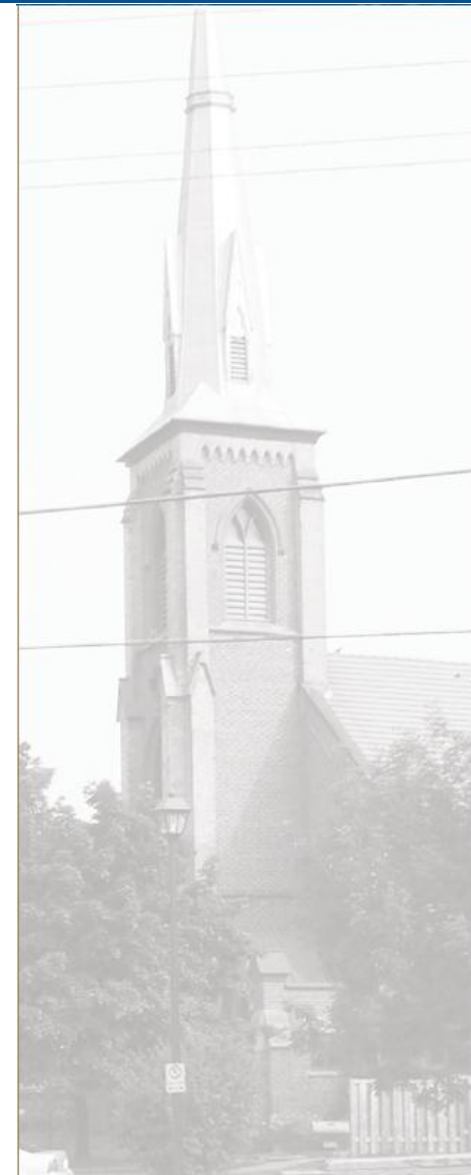
development permit system | MAIN STREET NORTH

Main Street North

Development Permit System By-law

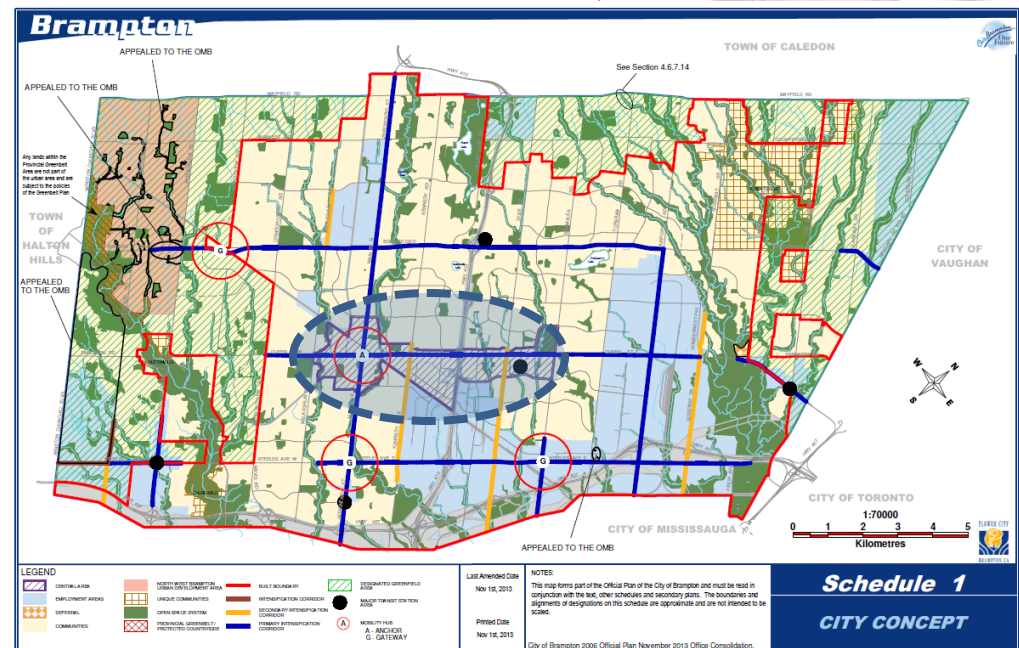
planning design & development, city of brampton

April 2012



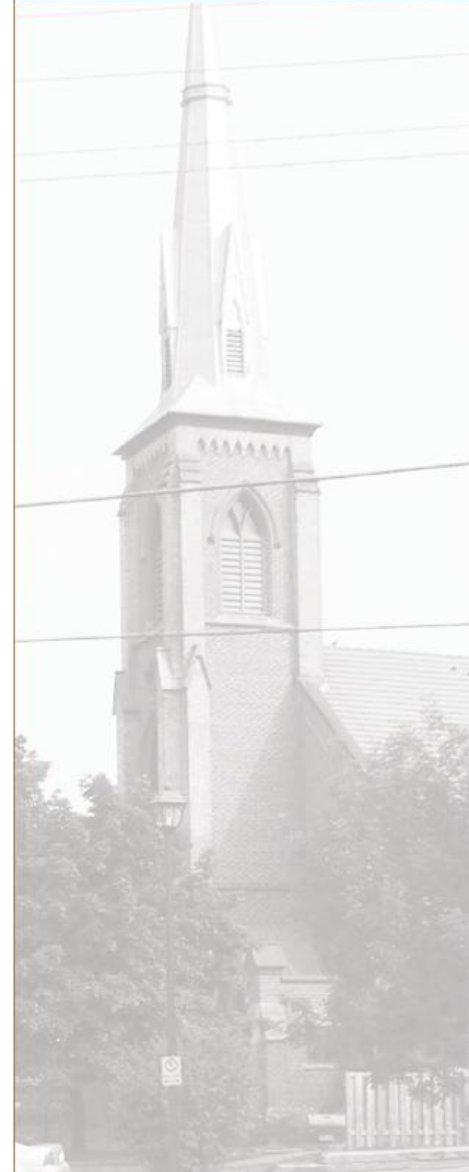
BACKGROUND AND CONTEXT

- Brampton's policy documents identify a Central Area, which functions as the "heart of the City"
- location for major civic, institutional, entertainment, cultural, commercial, residential, employment functions
- policies seek to support (intensification, redevelopment (esp. along Queen Corridor), revitalization (historic downtown))

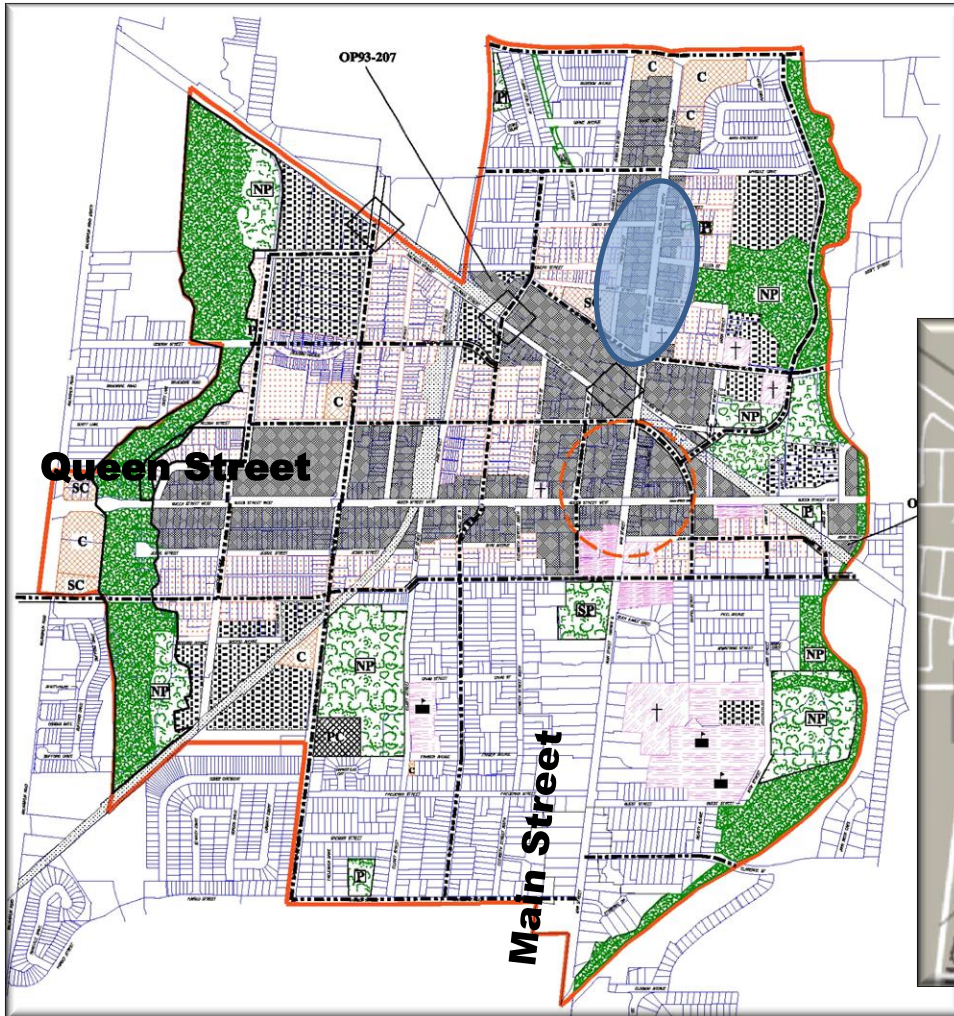


BACKGROUND AND CONTEXT

- major transportation links (Hurontario LRT, Queen Street BRT/LRT, GO (rail/bus), mobility hub)
- Central Area contains Brampton's UGC
- 2005 Central Area Vision, established as an urban-design based guiding document for future policy work
- Central Area split conceptually into three Precincts (Historic Downtown, Queen Street Corridor, Bramalea City Centre)
- For the Historic Downtown Precinct, ten Character Areas were established
- Main Street North is one of these Character Areas



BACKGROUND AND CONTEXT



BACKGROUND AND CONTEXT



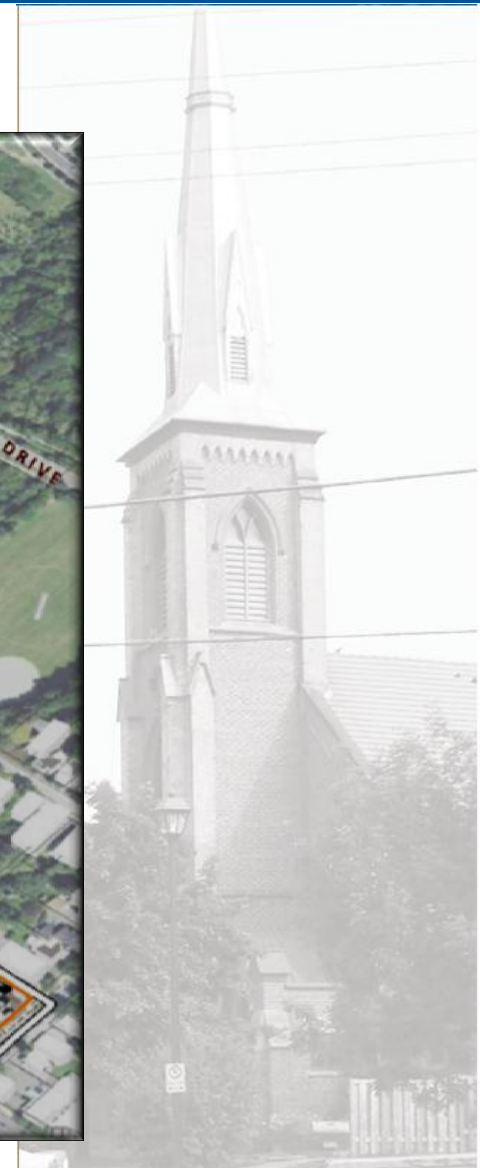
BACKGROUND AND CONTEXT



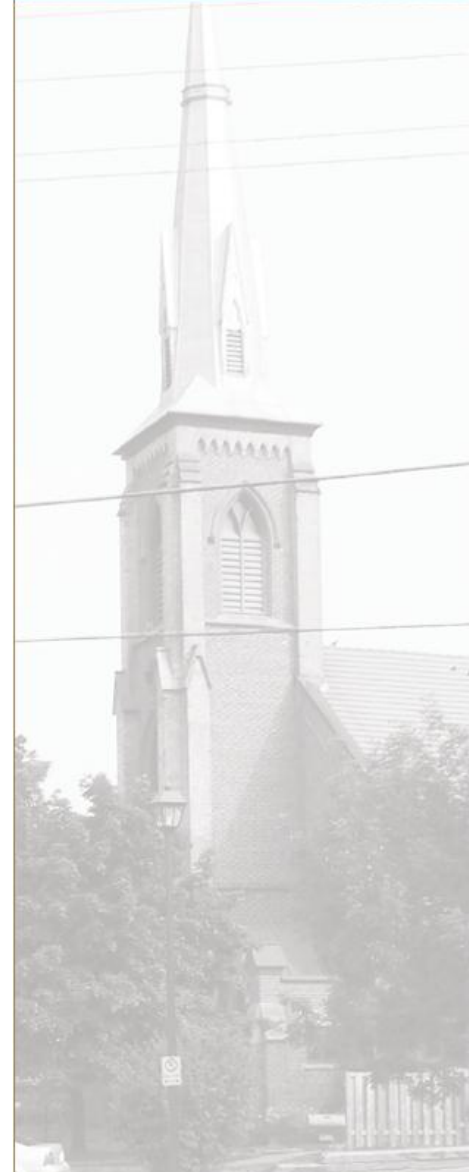
BACKGROUND AND CONTEXT



BACKGROUND AND CONTEXT



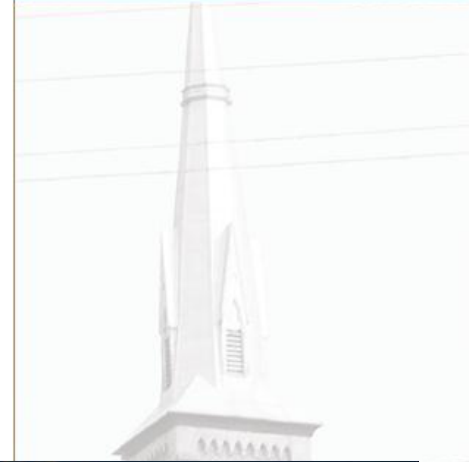
BACKGROUND AND CONTEXT



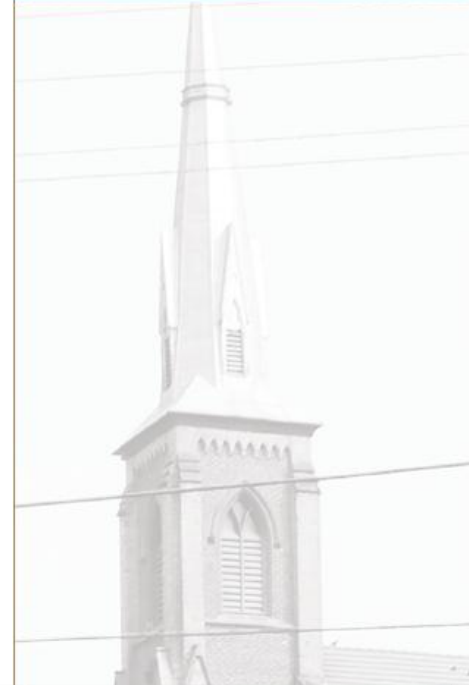
BACKGROUND AND CONTEXT



BACKGROUND AND CONTEXT



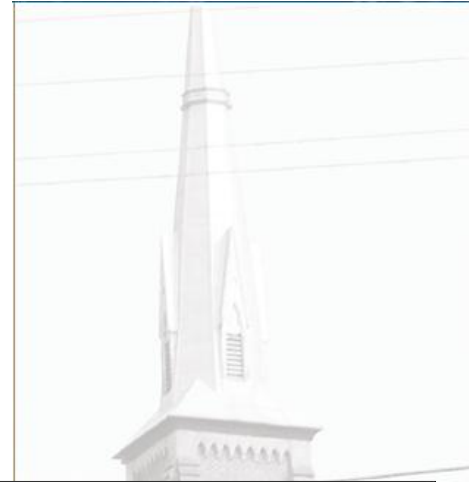
BACKGROUND AND CONTEXT



BACKGROUND AND CONTEXT



BACKGROUND AND CONTEXT

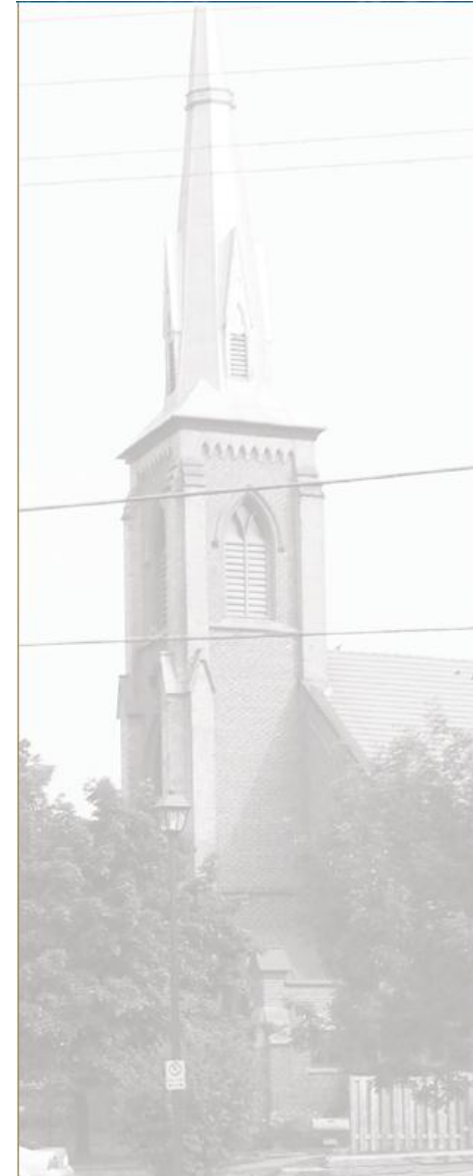


BACKGROUND AND CONTEXT



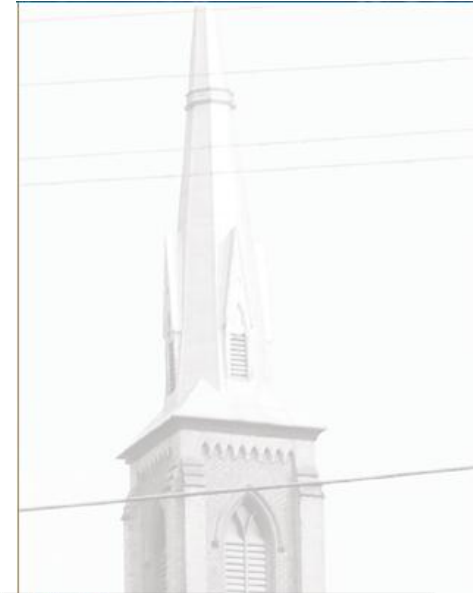
BACKGROUND AND CONTEXT

- Main Street North Urban Design Study initiated in 2006
- Area initially considered to be an HCD
- 745 metres in length, walkable from historic core to the south
- Initial Public Information Session held in March 2006
- Streetscape improvements implemented in 2007
- Study concluded, 2nd Public Information Session in July 2007



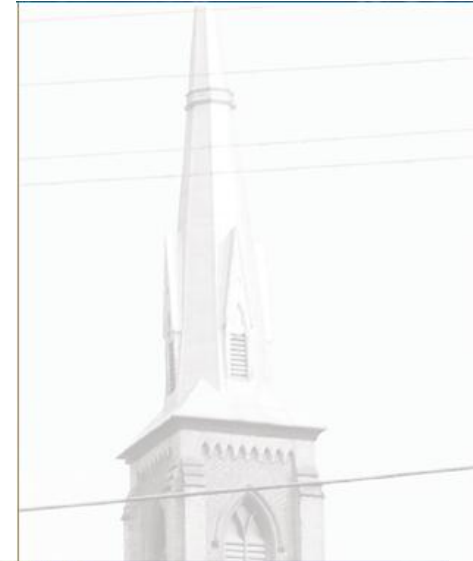
BACKGROUND AND CONTEXT

- Results from study:
 - retain strong heritage character
 - allow wider range of uses
 - create more street activity, destination
 - allow modest infill
 - reintroduce tree canopy
- Sought to capture characteristics within the planning framework and set in place policies that support the revitalization and respectful transformation of the area
- A DPS was chosen as the framework to implement the vision. DPS appeared to allow flexibility to help achieve the planning and economic development goals for the area



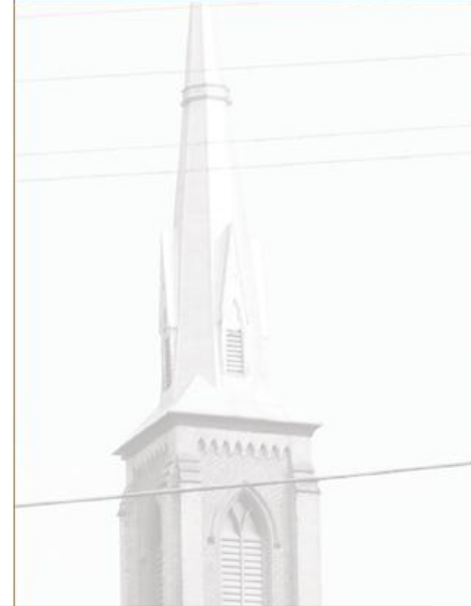
BACKGROUND AND CONTEXT

- Use MSN as a “test case”
- Received Council endorsement to proceed with development of DPS
- Initial draft of documents developed, with assistance from consultant
- eventually brought project “in-house”
- An Open House and Public Meeting (Planning Act) were held in 2009, presenting the draft documents
- Received comments from MMAH; the structure of the DPS was significantly revised



BACKGROUND AND CONTEXT

- “One-stop” shop document created
- Consultant peer review
- Further Open House held in April 2011
- Revisions made subsequent to Open House
- Further discussions held as a result of some dissenting landowners
- Approved by Council in 2012 and appealed to OMB



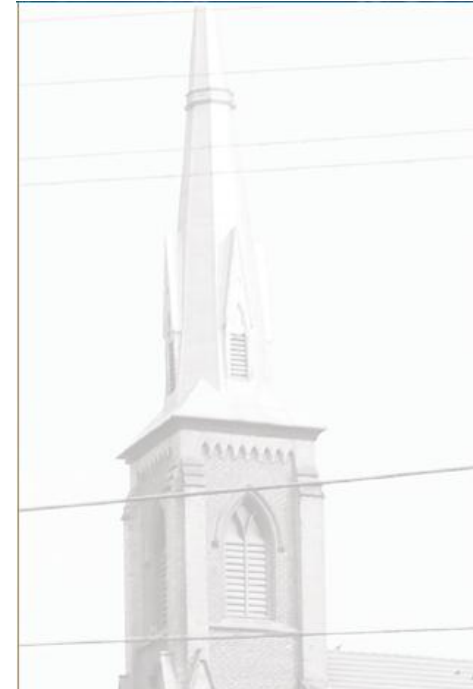
MSN DPS FEATURES

1. Integrated Policy Document:

- contains vision/policies, regulations, guidelines, process
- coordinated process, review requirements, regulations - unified to achieve planning goals for area
- balance streamlining of processes, yet still maintains level of development control to ensure the vision is achieved

2. One Approval:

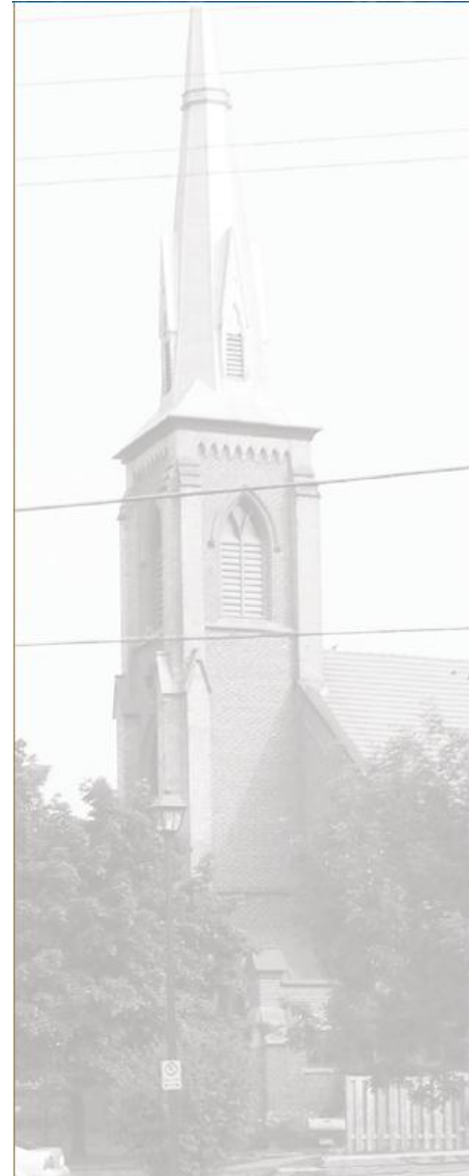
- site plan and minor variance are combined into one application and approval process
- lands “prezoned”



MSN DPS FEATURES

3. **“Urban Design-centric” Document:**
 - design important criteria in review of permits
 - integrated with regulations
 - “form based code-light”
 - guidelines linked to DP review criteria

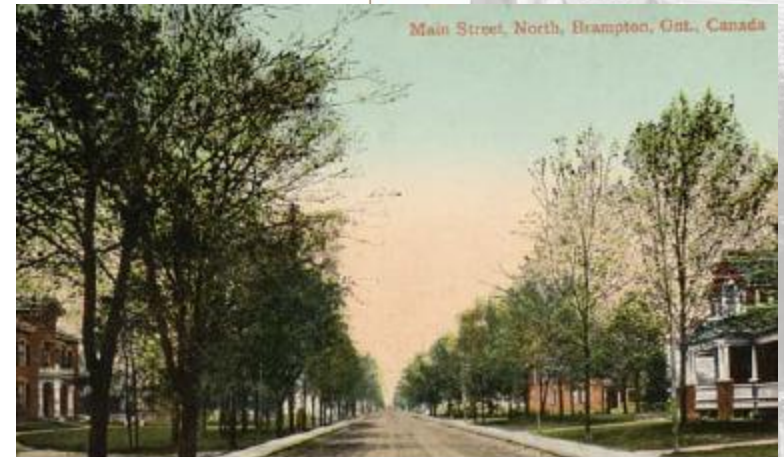
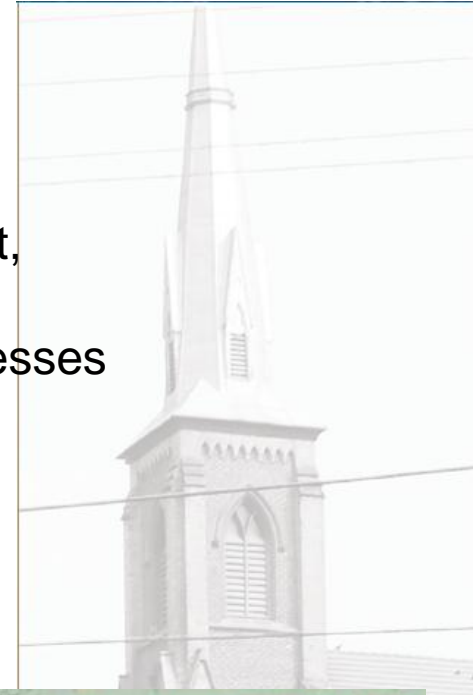
4. **Vision/Planning Framework:**
 - provides clarity to landowners along Main Street and residents in the area in terms of what is permitted from a density, scale and built form perspective
 - DPS structure provides flexibility, works better in existing urban fabric



MSN DPS FEATURES

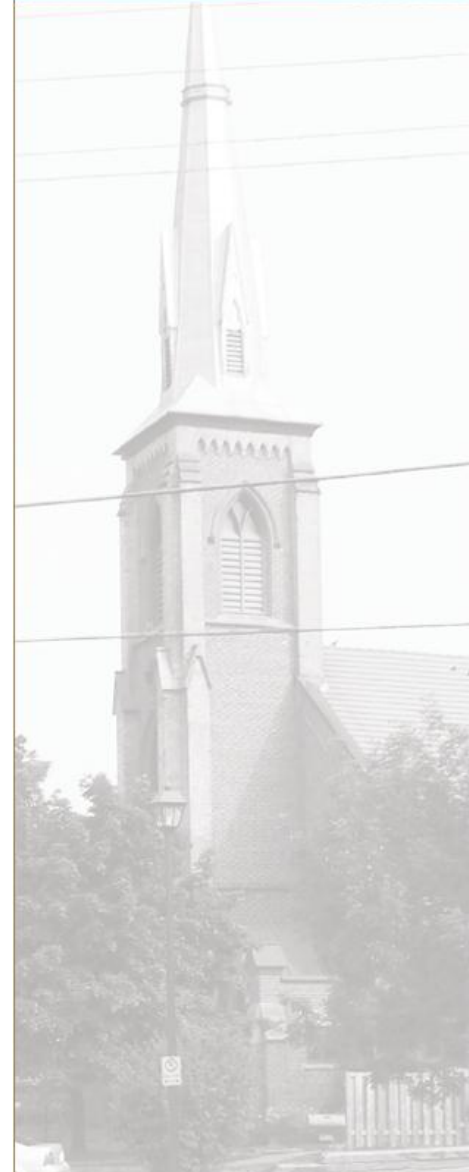
5. Tailored and Streamlined Process:

- balances goals for revitalization, economic development, design/heritage
- balances requirements for DP with tailored review processes
- reduced fees compared to other application types
- DP review criteria specific to MSN area
- variances integrated into process
- intended land uses established
- process tailored to specific application types
- delegated approvals on DP
- fees vary with application type
- “Concierge service”,
Dedicated review team
- no appeals once in place,
other than applicant/City



AMENDING DOCUMENT PACKAGE

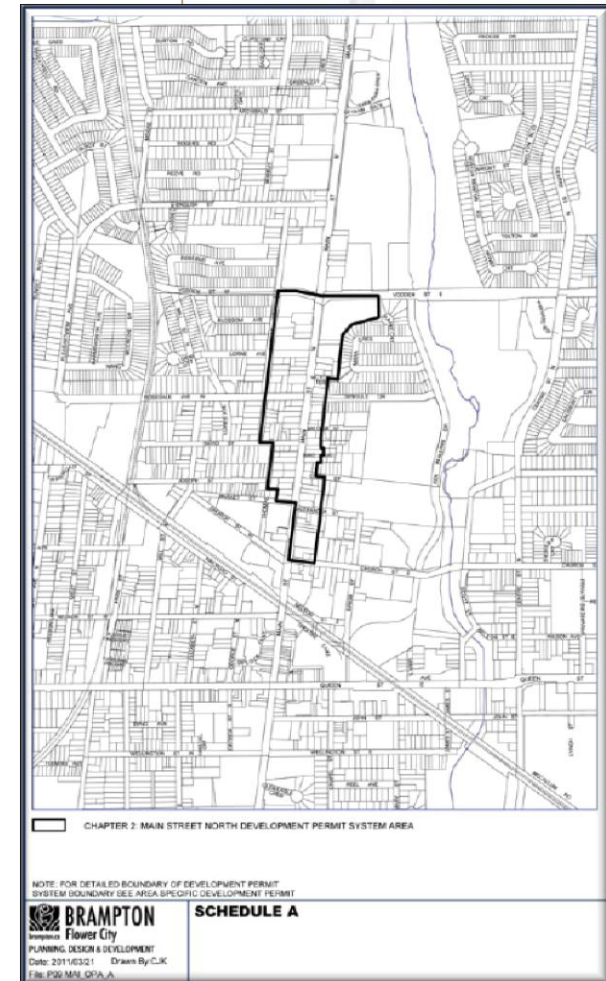
- The following is the suite of amending documents:
 - Official Plan Amendment
 - Secondary Plan Amendment
 - DPS General Provisions By-law
 - DPS By-law for Main Street North
 - Site Plan Control By-law Amendment
 - Tariff of Fees By-law Amendment
 - Approval Authority Delegation By-law Amendment
 - Tree Preservation By-law already accommodates DPS



OVERVIEW OF FRAMEWORK

Development Permit By-law General Provisions:

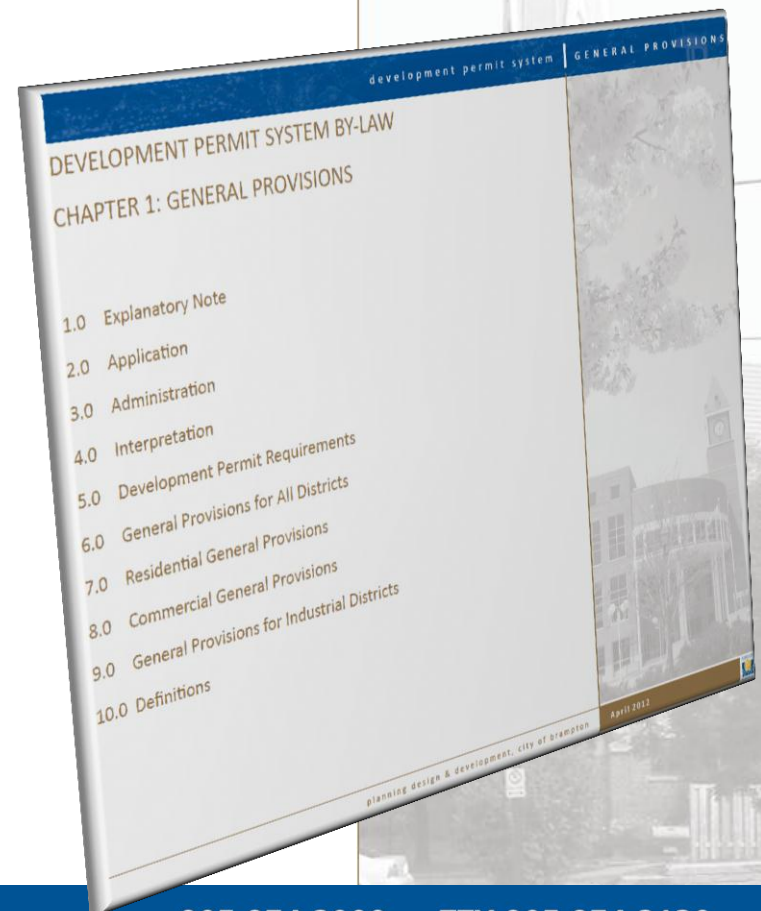
- the DPS By-law is a “stand alone” document not connected to the existing zoning by-law
- approval of DPS creates a “hole” in zoning by-law. Zoning By-law is repealed for that area upon passage of DP By-law
- needed to create general provisions for all future DPS areas
- the general provisions operate much like general provisions in a zoning by-law, in that they are the requirements that will apply to all DPS areas



OVERVIEW OF FRAMEWORK

Development Permit By-law General Provisions:

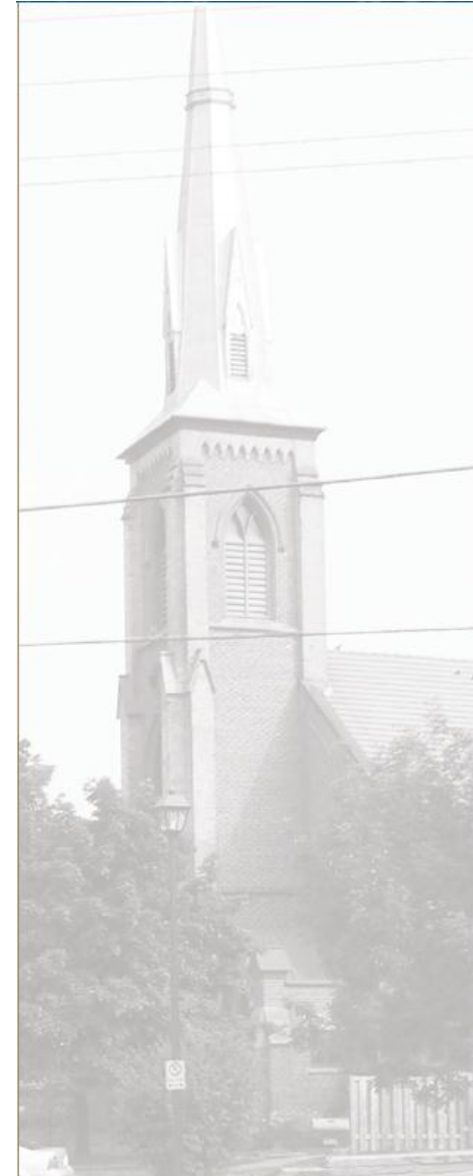
- includes definitions, provides overarching criteria for when a development permit is required, how variances are addressed
- propose to revise terminology to avoid confusion. What is a “zone” in the by-law is a “district” in the MSN DPS
- Each separate DPS area becomes an additional chapter in the General Provisions (MSN is Chapter 2)



OVERVIEW OF FRAMEWORK

Main Street North Development Permit By-law:


- DPS by-law is an integrated policy document. It contains vision and policies, regulations, processing requirements and guidelines
- The following Parts constitute the DPS By-law:
 - Part 1.0 Explanatory Note and Structure
 - Part 2.0 Applicability
 - Part 3.0 Vision and Policies
 - Part 4.0 Regulations
 - Part 5.0 Application Processing
 - Part 6.0 Guidelines
 - Appendices (not an operative part of the by-law)



OVERVIEW OF FRAMEWORK

Main Street North Development Permit By-law:

- Part 1.0 (Explanatory Note and Structure) explains the functions of each section



development permit system
MAIN STREET NORTH

Part 1.0: Explanatory Note and Structure

The Main Street North Development Permit System By-law is structured as a comprehensive policy document that brings together the policies, regulations, guidelines and application processing to function in a unified manner to achieve the planning objectives for the area.

This Development Permit By-law is divided into six parts. The following provides an overview of the various Parts to this by-law and gives a description of the intent and function of each Part.

Part 2: Applicability

This section sets out the area to which the Main Street North Development Permit System applies and defines its relationship with the parent Development Permit By-law provisions.

Part 3: Vision and Policies

The Vision and Policies provide the overarching policy framework for the Main Street North Development Permit System area. Operating in the manner of Official Plan and Secondary Plan policies, they provide the vision for the area, goals and objectives and detailed policies related to general land uses, development principles, heritage, transportation among others.

Part 3 provides the overall policy basis for the Regulations, Guidelines and Application Processing requirements of the Permit System Area. The review criteria for Development Permits will refer back to Part 3 to ensure that proposals are in conformity with the policies. Proposals and uses will need to conform to the policy intent of Part 3.

The Policies will be interpreted not as a regulation

as in Part 4 but as guiding policies for the area. However, if there is a clear issue of non-conformity, the criteria for review of a Permit cannot be met and a Permit will not be issued.

Part 4: Regulations

Part 4 encompasses the regulations for land and uses within the DPS area. The Regulations set out the permissions, requirement and restrictions that govern the use of land within the DPS area. The Regulations are also linked to Part 5 dealing with Application Processing such that certain application types will be subject to certain regulations. The Guidelines under Part 6 are linked to the Regulations and have to be addressed in assessing a Development Permit. This reflects the importance of the Guidelines such that the form and design of development, as well as how such matters as site servicing are implemented, are of substantial importance in achieving the broader objectives for Main Street North.

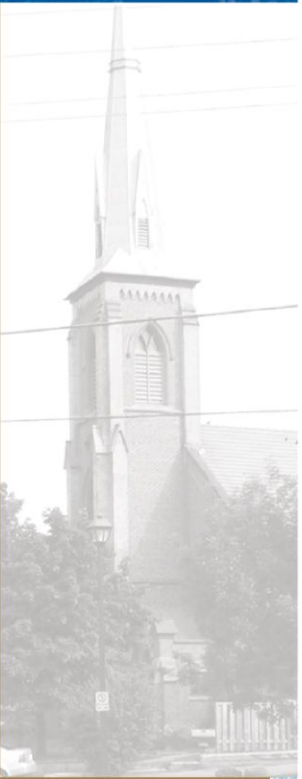
Whereas a zoning by-law typically uses the term "zone" this has been substituted by the term "district" to distinguish that this is a Development Permit By-law and not a Zoning By-law.


Development and uses have to meet the requirements and restrictions set out in Part 4. While a variance process is built into the by-law, if such is not supportable, the proposal would need to be revised. Alternately, an amendment to the Development Permit System could be initiated. Such amendment would necessitate the comprehensive review of the DPS area.

Part 5: Application Process

This Part of the by-law establishes when a permit is required and what process will be applied (eg. Standard, Limited, Variance Only, among others).

Amendments to the Main Street North Development

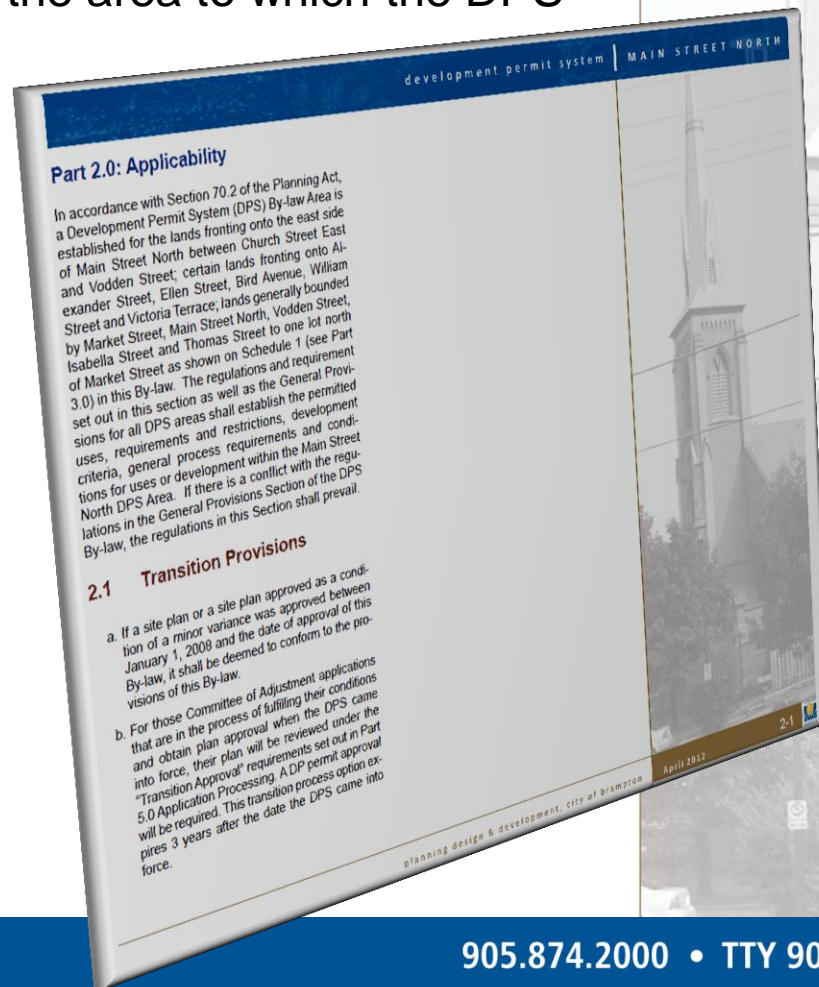


planning design & development, city of brampton
April 2012
1-1 

OVERVIEW OF FRAMEWORK

Main Street North Development Permit By-law:

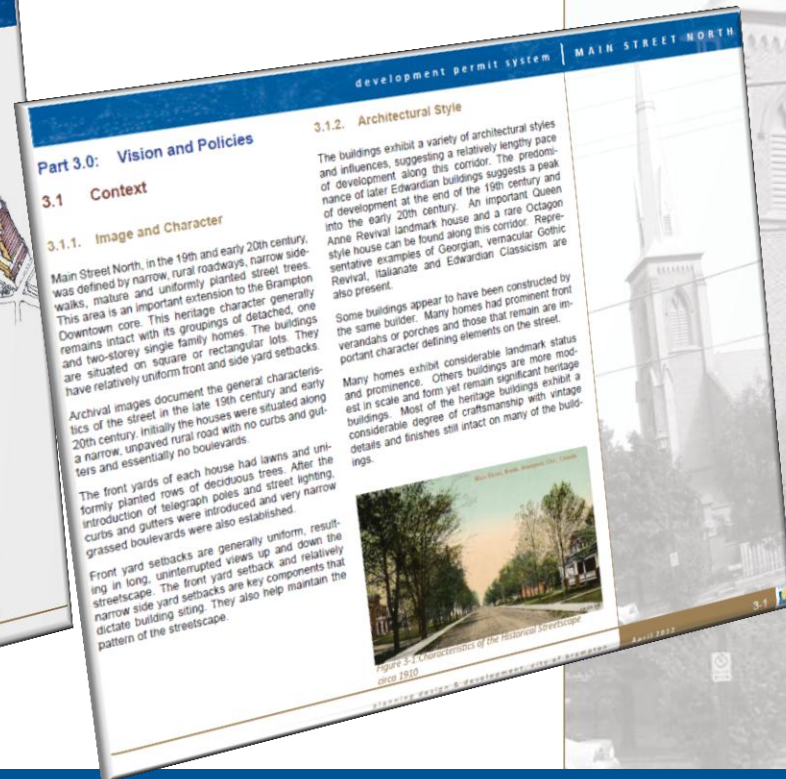
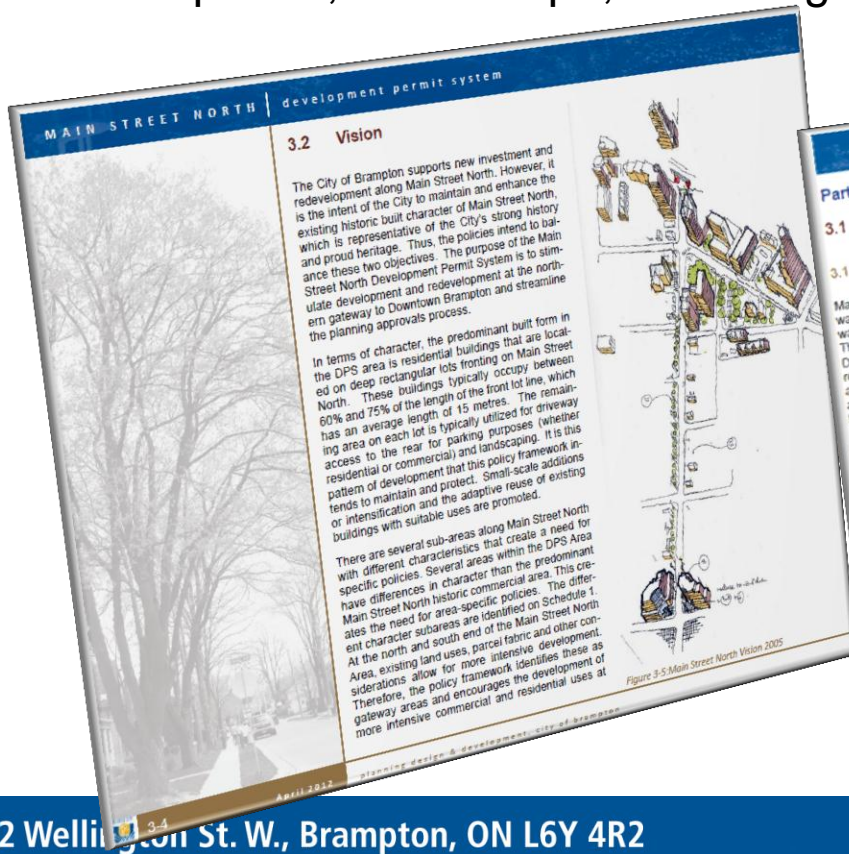
- Part 2.0 (Applicability) sets out the area to which the DPS applies and sets out transition provisions



OVERVIEW OF FRAMEWORK

Main Street North Development Permit By-law:








- Part 3.0 (Vision and Policies) establishes the main goals and objectives for the DPS area related to heritage, development, streetscape, site design and servicing



OVERVIEW OF FRAMEWORK



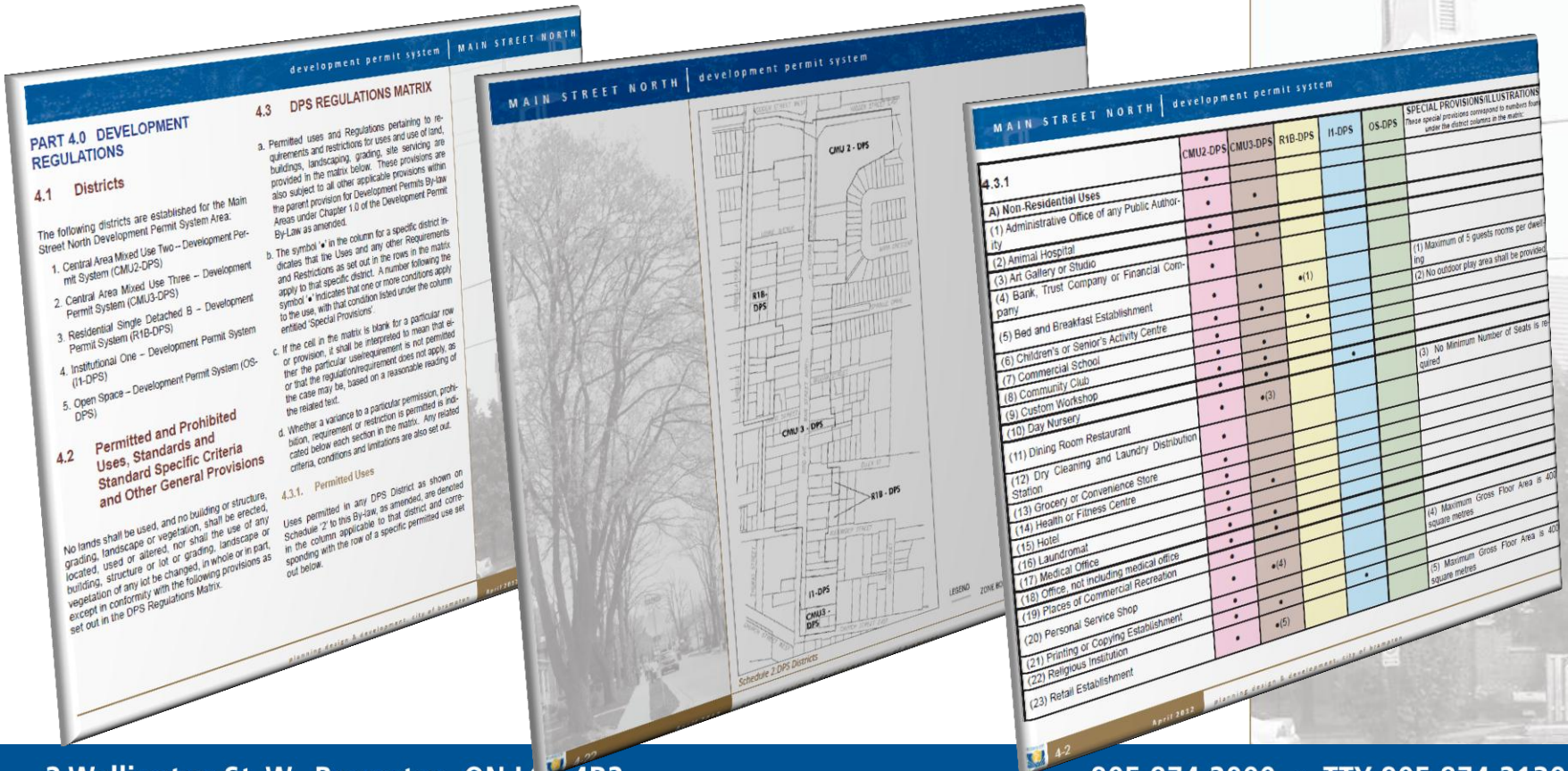
LEGEND

-  Main Street North DPS Area
-  Historic Residential Character Sub-areas
-  Historic Mixed Use Character Sub-areas
-  Medium Density Transition Character Sub-areas
-  Gateway Character Sub-areas
-  Designated Heritage Buildings
-  Listed Heritage Buildings

OVERVIEW OF FRAMEWORK

Main Street North Development Permit By-law:

- Part 4.0 Regulations sets out the requirements and restrictions for land within the DPS area



4.1 Districts

The following districts are established for the Main Street North Development Permit System Area.

1. Central Area Mixed Use Two – Development Permit System (CMU2-DPS)
2. Central Area Mixed Use Three – Development Permit System (CMU3-DPS)
3. Residential Single Detached B – Development Permit System (R1B-DPS)
4. Institutional One – Development Permit System (I1-DPS)
5. Open Space – Development Permit System (OS-DPS)

4.2 Permitted and Prohibited Uses, Standards and Standard Specific Criteria and Other General Provisions

No lands shall be used, and no building or structure, grading, landscape or vegetation, shall be erected, located, used or altered, nor shall the use of any building, structure or lot or grading, landscape or vegetation of any lot be changed, in whole or in part, except in conformity with the following provisions as set out in the DPS Regulations Matrix.

4.3 DPS REGULATIONS MATRIX

a. Permitted uses and Regulations pertaining to requirements and restrictions for uses and use of land, buildings, landscaping, grading, site servicing are provided in the matrix below. These provisions are also subject to all other applicable provisions within the parent provision for Development Permits By-Law Areas under Chapter 1.0 of the Development Permit By-Law as amended.

b. The symbol * in the column for a specific district indicates that the Uses and any other Requirements and Restrictions as set out in the rows in the matrix apply to that specific district. A number following the symbol * indicates that one or more conditions apply to the use, with that condition listed under the column entitled "Special Provisions".

c. If the cell in the matrix is blank for a particular row or provision, it shall be interpreted to mean that either the particular use/requirement is not permitted or that the regulation/requirement does not apply, as the case may be, based on a reasonable reading of the related text.

d. Whether a variance to a particular permission, prohibition, requirement or restriction is permitted is indicated below each section in the matrix. Any related criteria, conditions and limitations are also set out.

4.3.1. Permitted Uses

Uses permitted in any DPS District as shown on Schedule 2 to this By-law, as amended, are detailed in the column applicable to that district and corresponding with the row of a specific permitted use set out below.

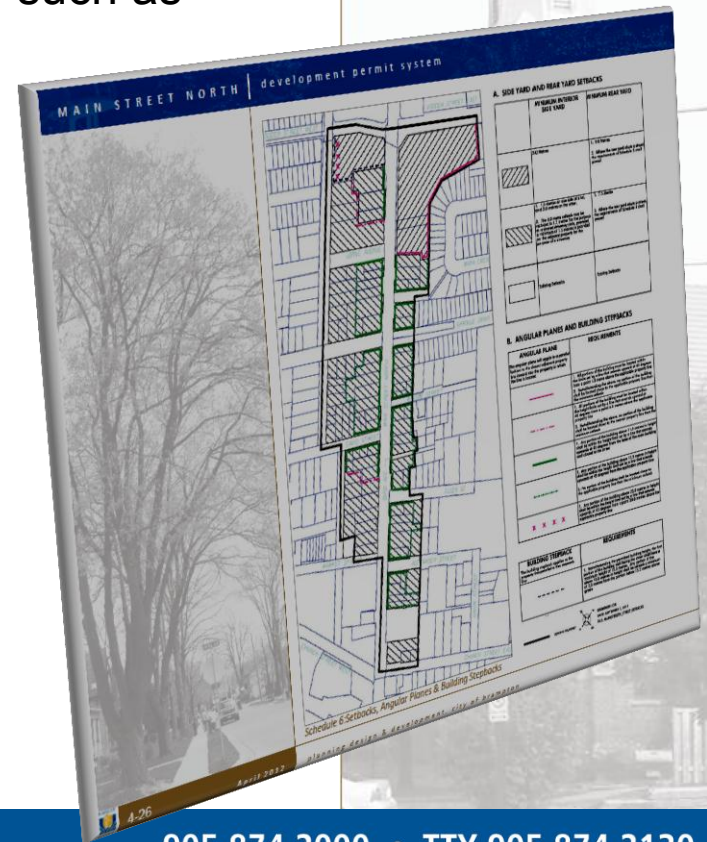
4.3.1

	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS/ILLUSTRATIONS
A) Non-Residential Uses	*	*	*	*	*	
(1) Administrative Office of any Public Authority	*	*	*	*	*	
(2) Animal Hospital	*	*	*	*	*	(1) Maximum of 5 guests rooms per dwelling
(3) Art Gallery or Studio	*	*	*	*	*	(2) No outdoor play area shall be provided
(4) Bank, Trust Company or Financial Company	*	*	* (1)	*	*	
(5) Bed and Breakfast Establishment	*	*	*	*	*	
(6) Children's or Senior's Activity Centre	*	*	*	*	*	
(7) Commercial School	*	*	*	*	*	(3) No Minimum Number of Seats is required
(8) Community Club	*	*	*	*	*	
(9) Custom Workshop	*	*	*	*	*	
(10) Day Nursery	*	* (3)	*	*	*	
(11) Dining Room Restaurant	*	*	*	*	*	
(12) Dry Cleaning and Laundry Distribution Station	*	*	*	*	*	
(13) Grocery or Convenience Store	*	*	*	*	*	(4) Maximum Gross Floor Area is 400 square metres
(14) Health or Fitness Centre	*	*	*	*	*	
(15) Hotel	*	*	*	*	*	(5) Maximum Gross Floor Area is 400 square metres
(16) Laundromat	*	*	*	*	*	
(17) Medical Office	*	*	*	*	*	
(18) Office, not including medical office	*	* (4)	*	*	*	
(19) Places of Commercial Recreation	*	*	*	*	*	
(20) Personal Service Shop	*	*	*	*	*	
(21) Printing or Copying Establishment	*	* (5)	*	*	*	
(22) Religious Institution	*	*	*	*	*	
(23) Retail Establishment	*	*	*	*	*	

OVERVIEW OF FRAMEWORK

Main Street North Development Permit By-law:

- Regulations includes typical requirements such as land uses, setbacks, building heights
- also includes elements of “form-based code”, such as minimum wall lengths, building stepping
- regulations linked to guidelines



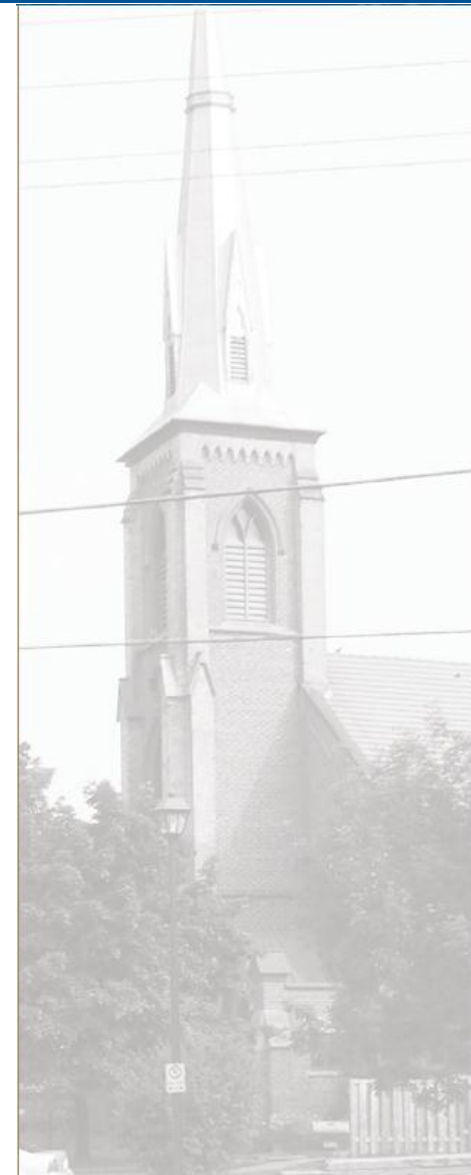
OVERVIEW OF FRAMEWORK

development permit system | MAIN STREET NORTH

4.3.3. Site Development Standards

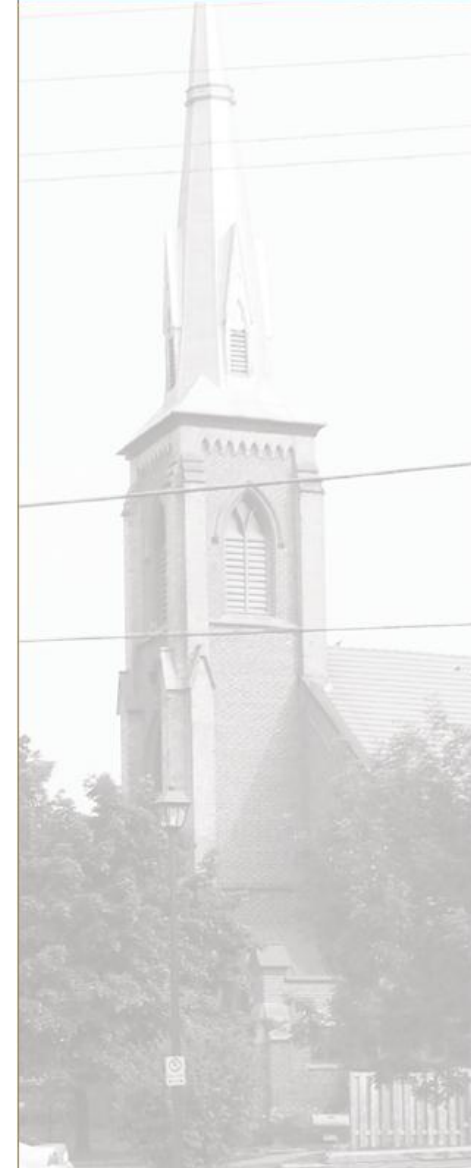
Any use of lands, buildings or structures, shall adhere to the following Site Development Standards:

4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the district columns in the matrix:</i>
A) Minimum Setback From Street Centreline						
1. Minimum setbacks are shown on Schedule 3	•	•	•	•	•	
2. The minimum setback on a vacant lot or for a new development where the existing structure on the lands will not be retained, shall be the average of the setbacks on abutting lots which front on the same side of the street	•	•		•		
3. For that portion of any building that has a height of 15.5 metres or greater above grade, the minimum setback shall be increased by a minimum of 3.0 metres	•			•		
4. The minimum setback for an addition that joins two existing buildings shall be 6.0 metres		•				
VARIANCES:						
Permitted: Yes						
Criteria:						
1. See Section 5.5.4						
B) Maximum Setback From Street Centreline						
1. Maximum setbacks are shown on Schedule 3	•	•	•	•	•	



OVERVIEW OF FRAMEWORK

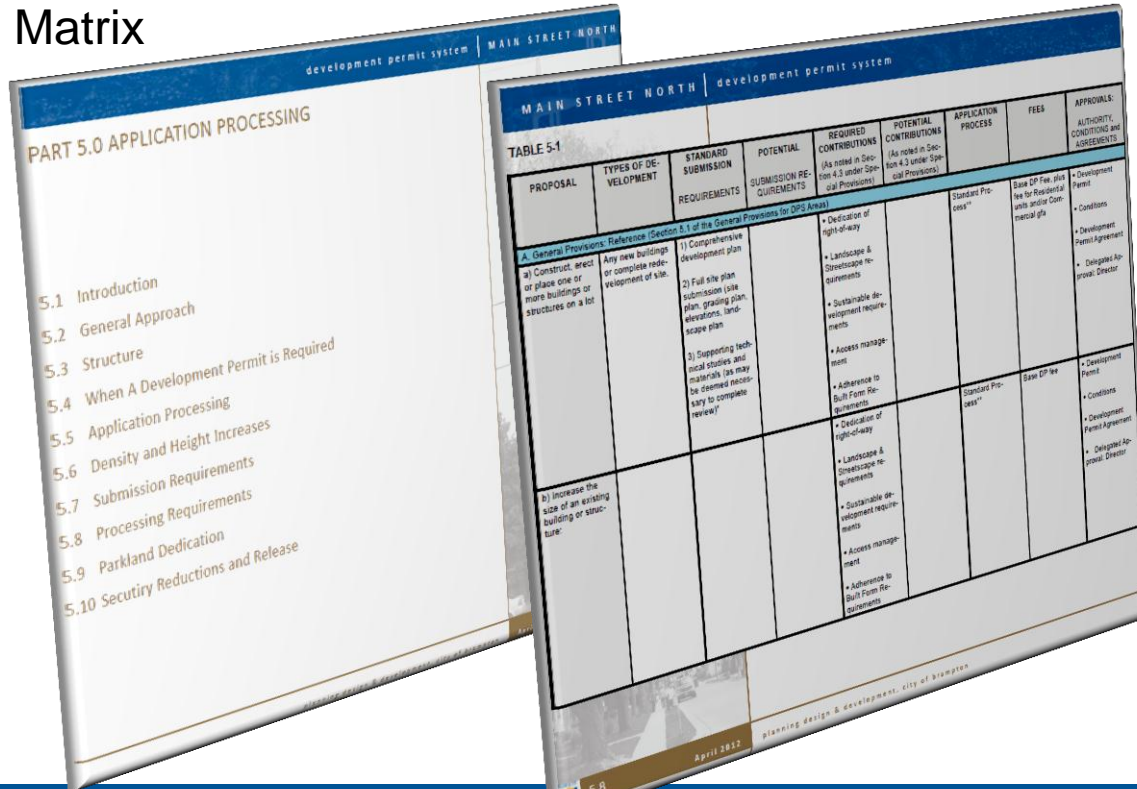
MAIN STREET NORTH development permit system						
4.3.3	CMU2-DPS	CMU3-DPS	R1B-DPS	I1-DPS	OS-DPS	SPECIAL PROVISIONS / ILLUSTRATIONS <i>These special provisions correspond to numbers found under the district columns in the matrix:</i>
G) Tower Massing Control						
1. Any portion of a building containing residential dwelling units above 26.0 metres in height shall have a maximum floor area of 800 square metres	•					
VARIANCES: Permitted: Yes Criteria: 1. See Section 5.5.4						
H) Tower Separation Distance						
1. Any individual buildings or a building with separated building forms above a shared ground level building and which contain residential dwelling units shall maintain a minimum separation distance of 25.0 metres between the individual buildings or the separated building forms above the shared ground level building	•					
VARIANCES: Permitted: Yes Criteria: 1. See Section 5.5.4						
I) Windows and Doors at Grade						
1. On any wall adjacent to the Main Street, Vodden Street or Church Street streetline, no less than 75% of the gross area of the portion of the wall less than 4.6 metres above grade shall have clear glass windows and/or doors	•					



OVERVIEW OF FRAMEWORK

Main Street North Development Permit By-law:

- Part 5.0 (Application Processing) sets out when a permit is required, what process stream is used, what needs to be submitted as identified in the Processing Matrix



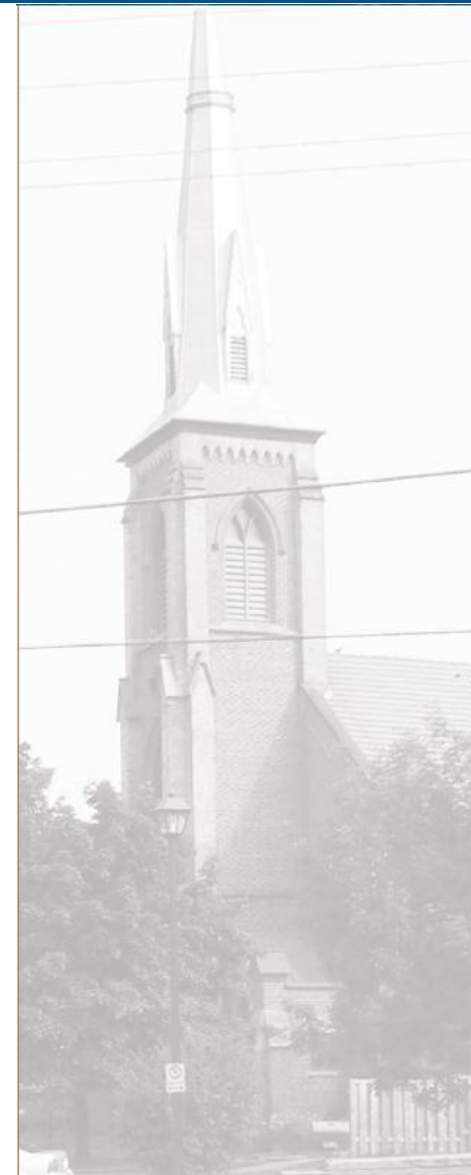
PART 5.0 APPLICATION PROCESSING

- 5.1 Introduction
- 5.2 General Approach
- 5.3 Structure
- 5.4 When A Development Permit is Required
- 5.5 Application Processing
- 5.6 Density and Height Increases
- 5.7 Submission Requirements
- 5.8 Processing Requirements
- 5.9 Parkland Dedication
- 5.10 Security Reductions and Release

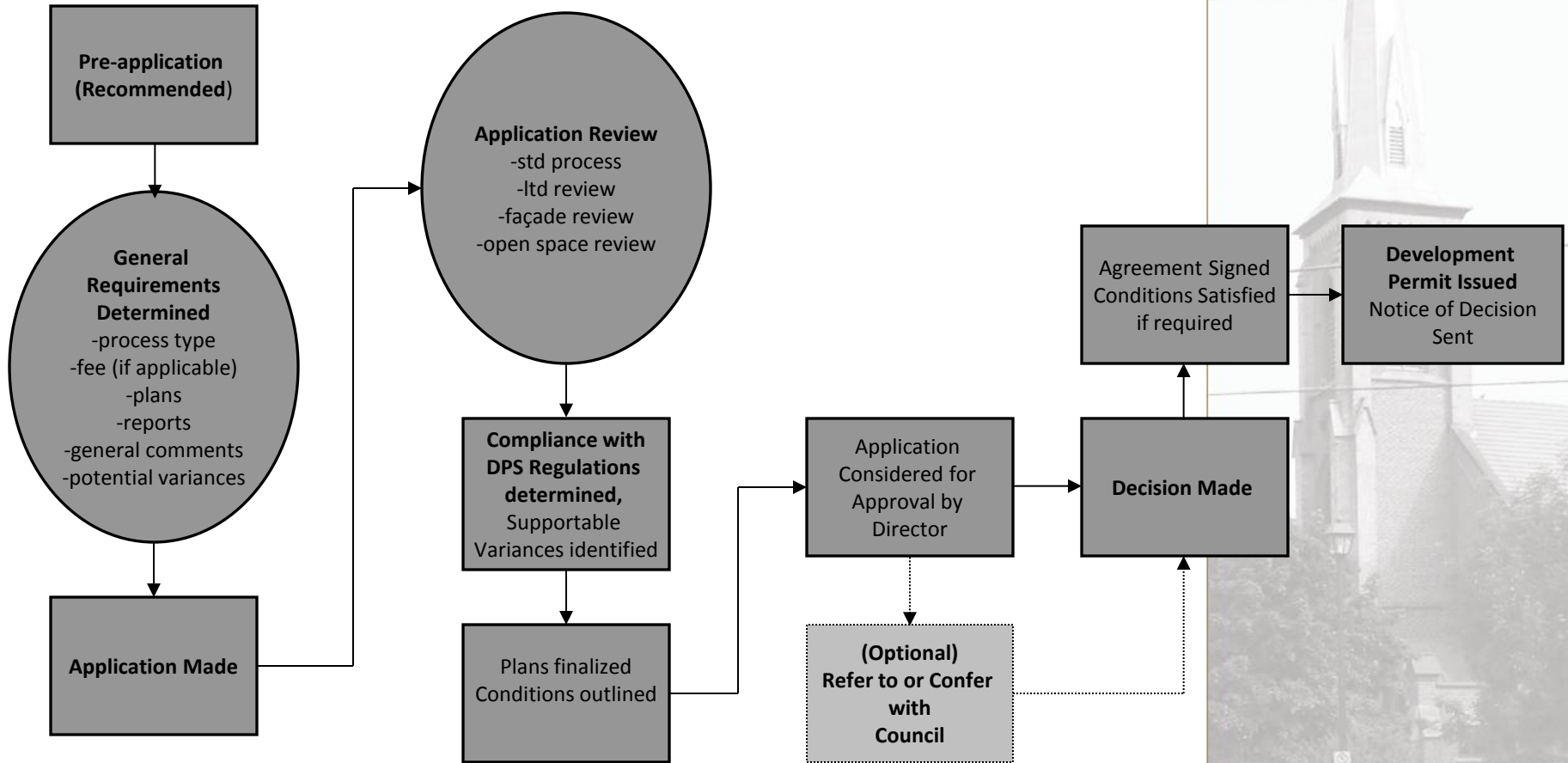
TABLE 5-1

PROPOSAL	TYPES OF DEVELOPMENT	STANDARD SUBMISSION REQUIREMENTS	POTENTIAL SUBMISSION REQUIREMENTS	REQUIRED CONTRIBUTIONS (As noted in Section 4.3 under Special Provisions)	POTENTIAL CONTRIBUTIONS (As noted in Section 4.3 under Special Provisions)	APPLICATION PROCESS	FEES	APPROVALS: AUTHORITY, CONDITIONS AND AGREEMENTS
A. General Provisions: Reference (Section 5.1 of the General Provisions for DPS Areas)								
a) Construct, erect or place one or more buildings or structures on a lot	Any new buildings or complete redevelopment of site	1) Comprehensive development plan 2) Full site plan submission (site plan, grading plan, elevations, landscape plan 3) Supporting technical studies and materials (as may be deemed necessary to complete review)		<ul style="list-style-type: none"> Dedication of right-of-way Landscape & Streetscape requirements Sustainable development requirements Access management Adherence to Built Form Requirements 		Standard Process**	Basic DP Fee plus fee for Residential units and/or Commercial g/s	<ul style="list-style-type: none"> Development Permit Conditions Development Permit Agreement Delegated Approval: Director
b) Increase the size of an existing building or structure				<ul style="list-style-type: none"> Dedication of right-of-way Landscape & Streetscape requirements Sustainable development requirements Access management Adherence to Built Form Requirements 		Standard Process**	Basic DP fee	<ul style="list-style-type: none"> Development Permit Conditions Development Permit Agreement Delegated Approval: Director

April 2013 | planning design & development, city of brampton



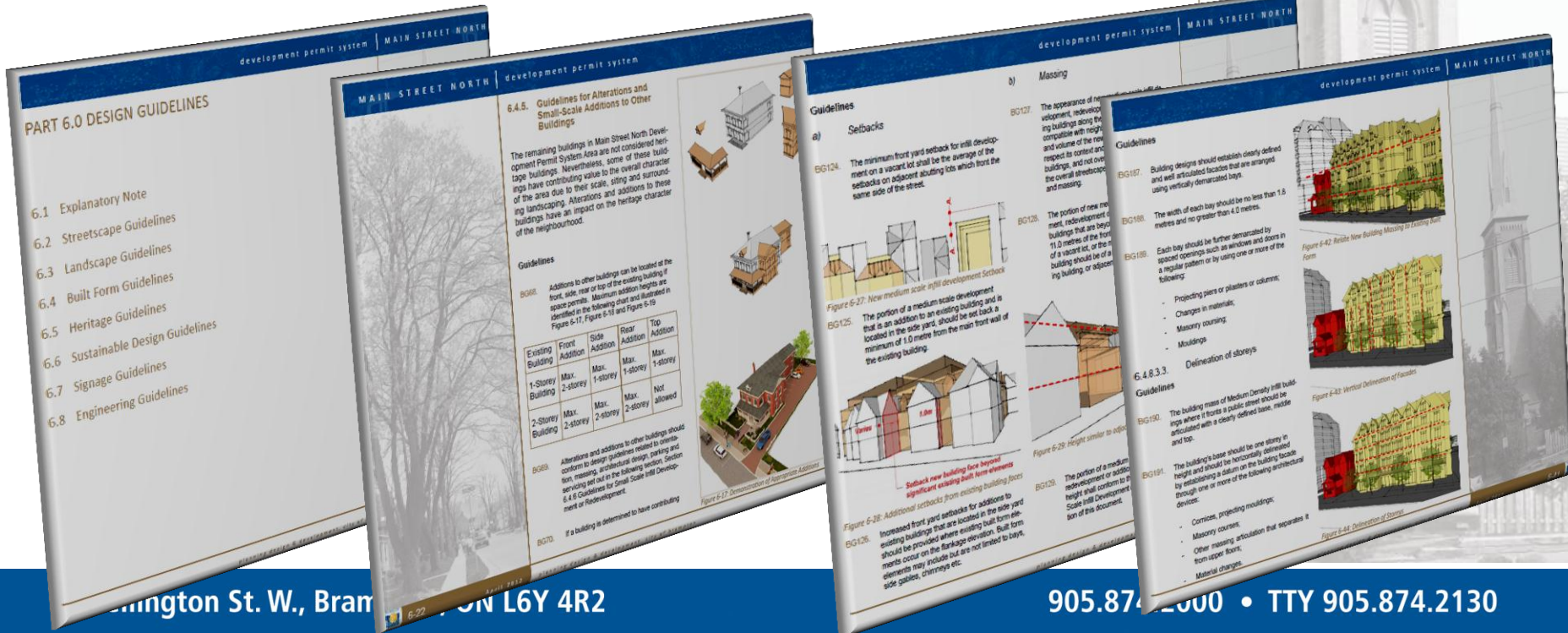
OVERVIEW OF FRAMEWORK



OVERVIEW OF FRAMEWORK

Main Street North Development Permit By-law:

- Part 6.0 (Guidelines) work in conjunction the policies and regulations to achieve development that supports the vision. Help guide the review of development applications. Numbers in the guidelines are not prescriptive in the manner of the regulations




OVERVIEW OF FRAMEWORK

Main Street North Development Permit By-law:

- Part 6.0 (Guidelines)

MAIN STREET NORTH | development permit system



6.4.5. Guidelines for Alterations and Small-Scale Additions to Other Buildings

The remaining buildings in Main Street North Development Permit System Area are not considered heritage buildings. Nevertheless, some of these buildings have contributing value to the overall character of the area due to their scale, siting and surrounding landscaping. Alterations and additions to these buildings have an impact on the heritage character of the neighbourhood.

Guidelines

BG68. Additions to other buildings can be located at the front, side, rear or top of the existing building if space permits. Maximum addition heights are identified in the following chart and illustrated in Figure 6-17, Figure 6-18 and Figure 6-19

Existing Building	Front Addition	Side Addition	Rear Addition	Top Addition
1-Storey Building	Max. 2-storey	Max. 1-storey	Max. 1-storey	Max. 1-storey
2-Storey Building	Max. 2-storey	Max. 2-storey	Max. 2-storey	Not allowed

BG69. Alterations and additions to other buildings should conform to design guidelines related to orientation, massing, architectural design, parking and servicing set out in the following section, Section 6.4.6 Guidelines for Small Scale Infill Development or Redevelopment.

BG70. If a building is determined to have contributing

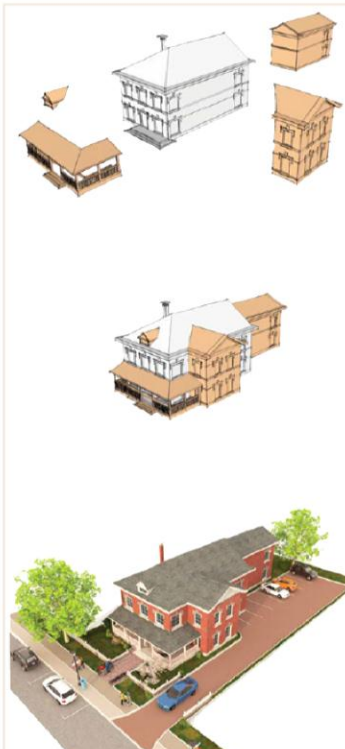
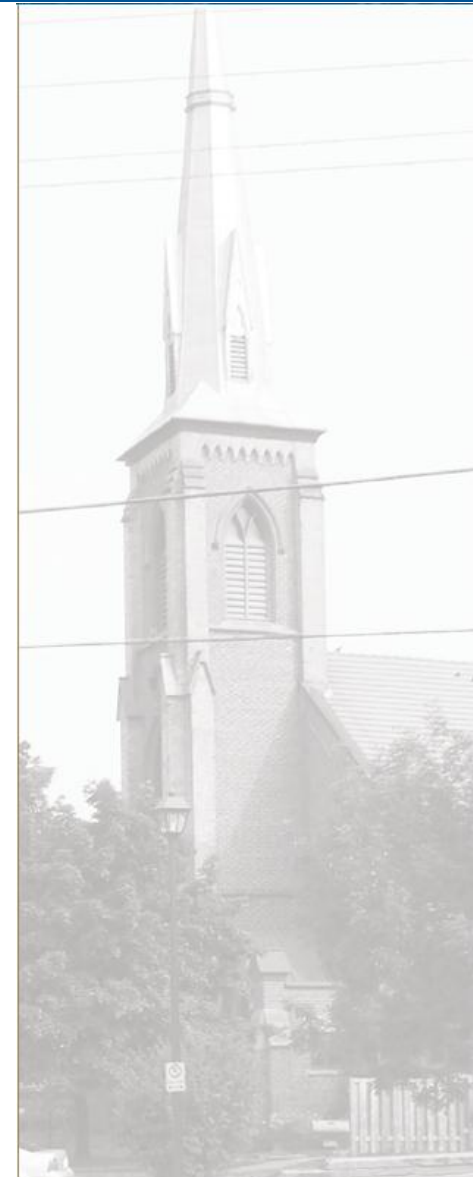


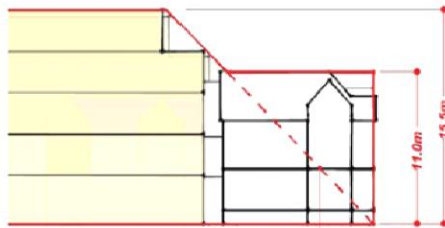
Figure 6-17: Demonstration of Appropriate Additions

6-22 April 2012 planning design & development, city of brampton



c) *Angular plane*

BG130. In order to retain the existing architectural character of the predominantly 2 to 2 1/2 storey residential built form fabric of the area, any portion of a new medium scale infill development, redevelopment or addition to an existing building higher than 11.0 metres and up to a height of 15.5 metres shall be constructed within a 45 degree angular plane originating from grade at the main front wall of an existing building.



45 degree Angular Plane from grade at main front wall of existing building or, front yard setback.

Figure 6-30: Angular Plane and building height

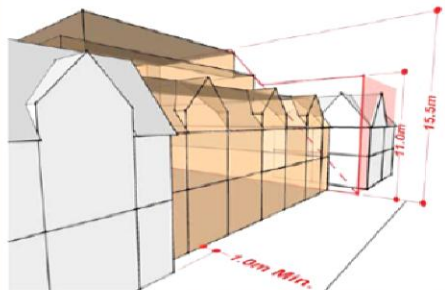


Figure 6-31: Angular Plane and relation to required setbacks

d) *Spatial Separation*

BG131. The spatial separation between individual medium scale infill development, redevelopment or additions to existing buildings of up to 5 storeys in height, located along Main Street should be a minimum of 3.0 metres, and is encouraged to maintain the size and rhythm of space between buildings along the established streetscape.

6.4.7.3. Architectural Design

It is not expected that new medium scale infill development, redevelopment or additions to existing buildings in the Main Street North Historic Mixed-use and the Main Street North Medium Density Transition Character Sub-areas replicate historical styles and decoration, however, they shall be designed with similar proportions, massing and built form articulation in order to retain the character of the existing building fabric.

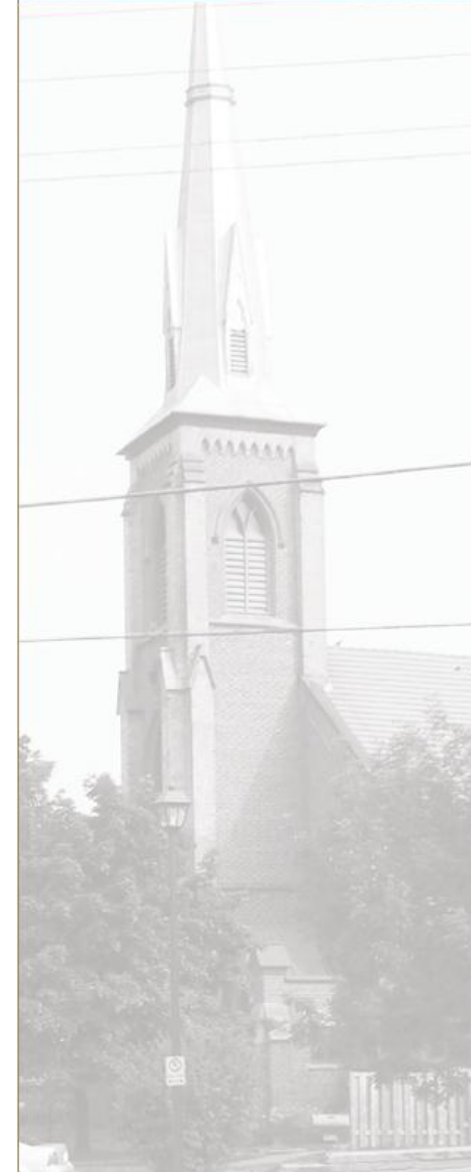
Guidelines

a) *Architectural Style*

BG132. It is encouraged that cues from the eight prevalent academic styles found in the Sub-areas are incorporated into the design of new buildings and additions (as set out in Section 6.5.9).

BG133. Design themes may be contemporary however it is encouraged that the scale and proportions of one of the eight prevalent academic styles is retained (as set out in Section 6.5.9).

BG134. Designs should respect the character and proportions of adjoining properties.





6.4.9. Tall Building Guidelines

The vision for the area is to develop a transit-oriented and pedestrian friendly neighbourhood. It is encouraged that only active pedestrian uses be permitted at grade. All new development must be integrated with the other buildings and open spaces on the block to retain neighbourhood character, including heritage features, and create a high quality pedestrian public realm. The built form of the development must define and support the adjacent streets and open space.

6.4.9.1. Placement and Orientation Guidelines

- BG235. Buildings should be placed parallel to the street.
- BG236. Locate main building entrances so that they are clearly visible and directly accessible from the public sidewalk. Main building entrances and addresses shall face Main Street, Vodden Street or Church Street.
- BG237. Ensure that the placement of buildings limits its impact on neighbouring streets, buildings and open spaces by creating appropriate transition scale to neighbouring buildings.

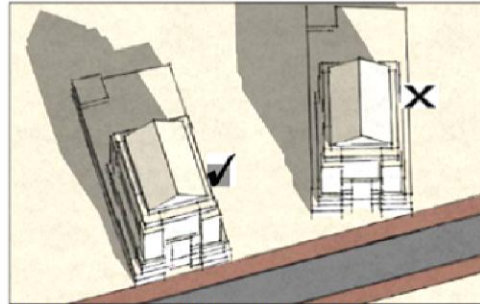


Figure 6-52: Locate Buildings Parallel to the Street

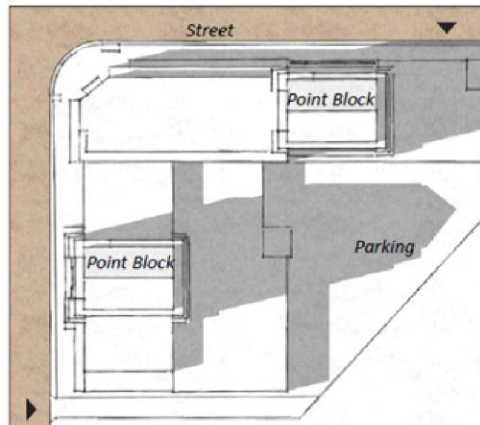
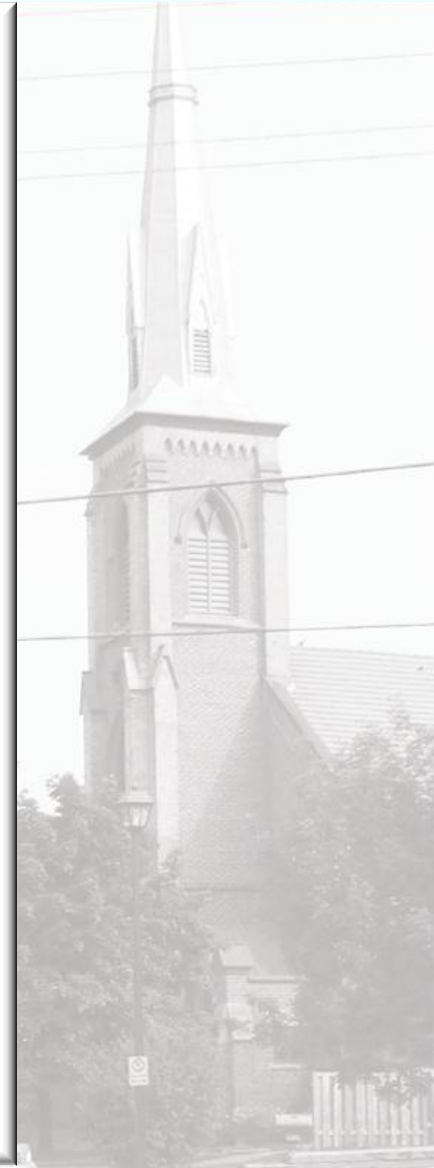
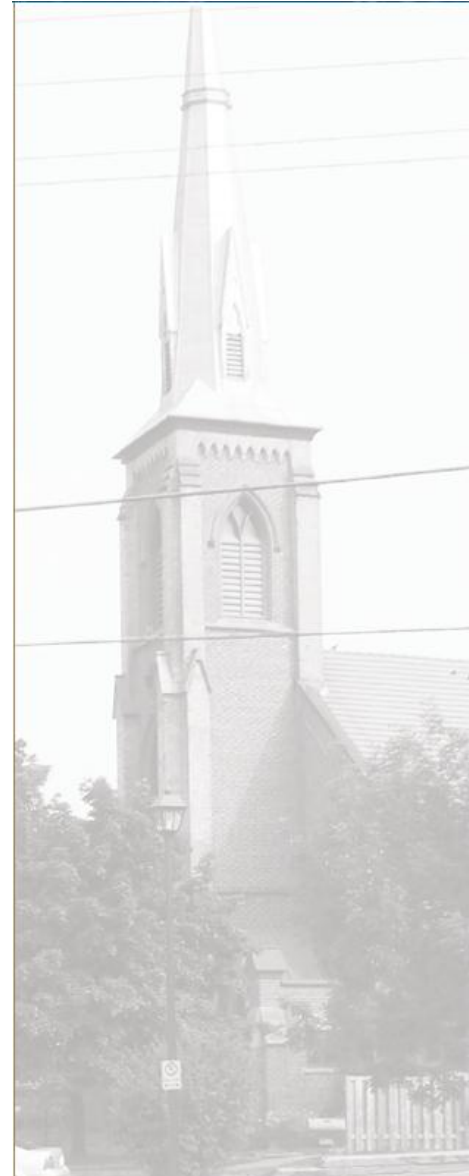


Figure 6-53: Conceal Parking by Locating it Behind Buildings



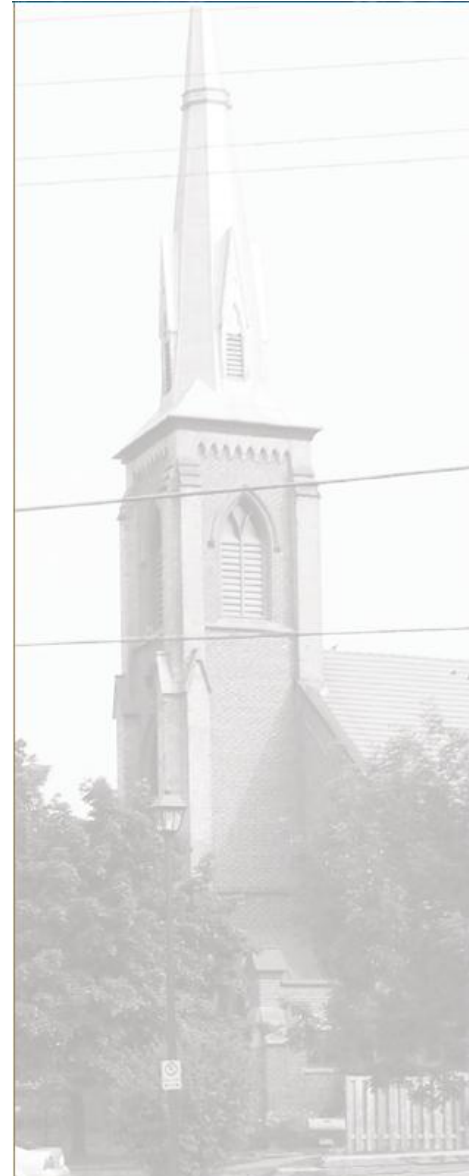
CHALLENGES/LESSONS

- area complex in terms of characteristics (stable res, historic infill (two types), medium density transition, gateway), required wide range of considerations and policies. Resulting document is extensive in terms of scope
- new territory, learning experience, required to anticipate results of structure, policies, implementation, consider how process would operate once approved
- ongoing education process for staff, stakeholders, members of public, Council etc regarding DPS
- took approach to set up City for seamless implementation of future DPS areas. Required detailed consideration for setting into place overall City-wide policies/requirements for DPS



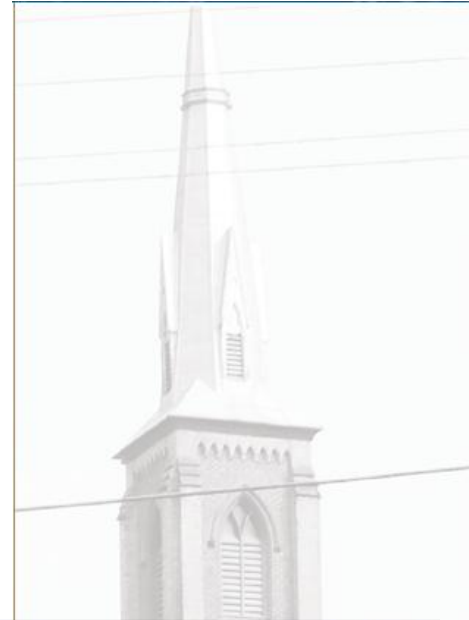
CHALLENGES/LESSONS

- touched on many areas of existing policies/procedures, which needed amendment. However once in place can apply to any future DPS areas
- began with more conventional approach, MMAH encouraged City to structure DPS in different manner
- City took initiative, made dramatic change to structure -end result is positive –improved document
- marrying policy, regulations, guidelines, processing into one document
- switch to stand-alone document, required “general provisions” for DPS areas to allow for future expansion



CHALLENGES/LESSONS

- first cut at use of DPS, much to learn about potential of tool.
e.g. Discretionary Uses a powerful aspect of DPS. Not used in MSN, may use more elsewhere
- wide range of options related to conditions not fully exploited in MSN DPS
- implementation will bear out further lessons on potential of DPS



NEXT STEPS

- Council adopted in August 2012, but was appealed OMB
- Achieved settlement, need to update documents to reflect settlement
- Begin implementation (tracking system, process (review team), application forms etc.)
- City looking to implement further DPS for Queen Street West study

